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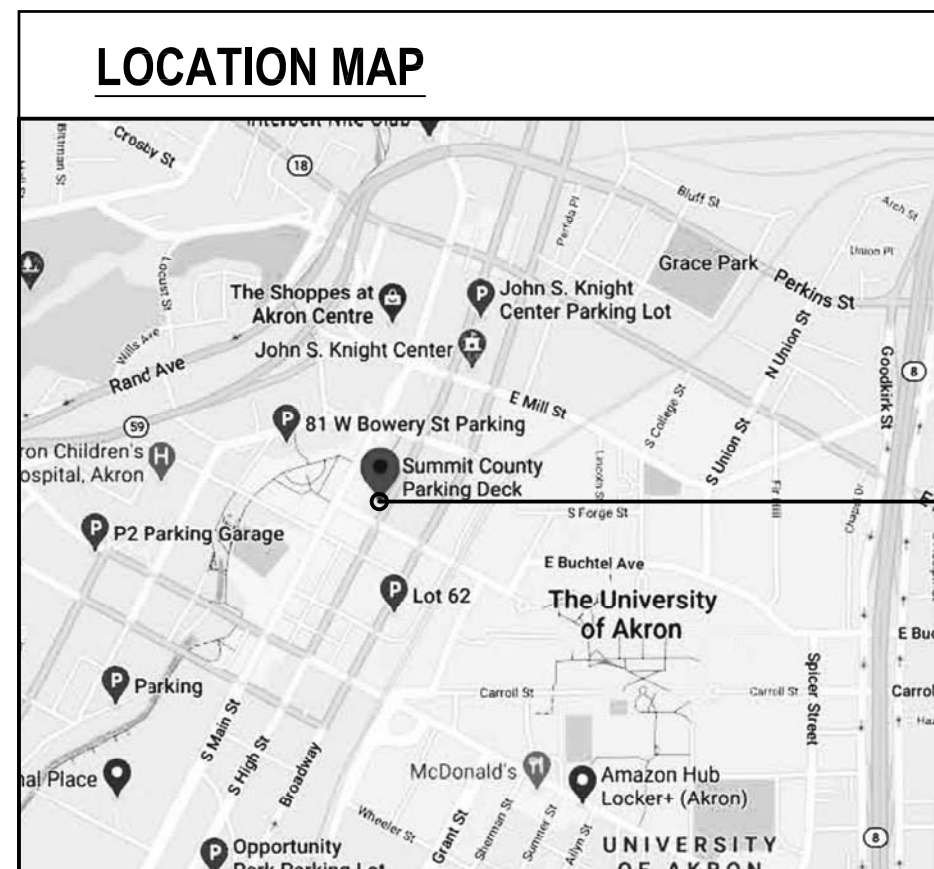
**SUMMIT COUNTY
SUMMIT COUNTY PARKING DECK
ACCESSIBILITY RENOVATIONS
200 S. HIGH ST. AKRON, OHIO 44308**

SUMMIT COUNTY

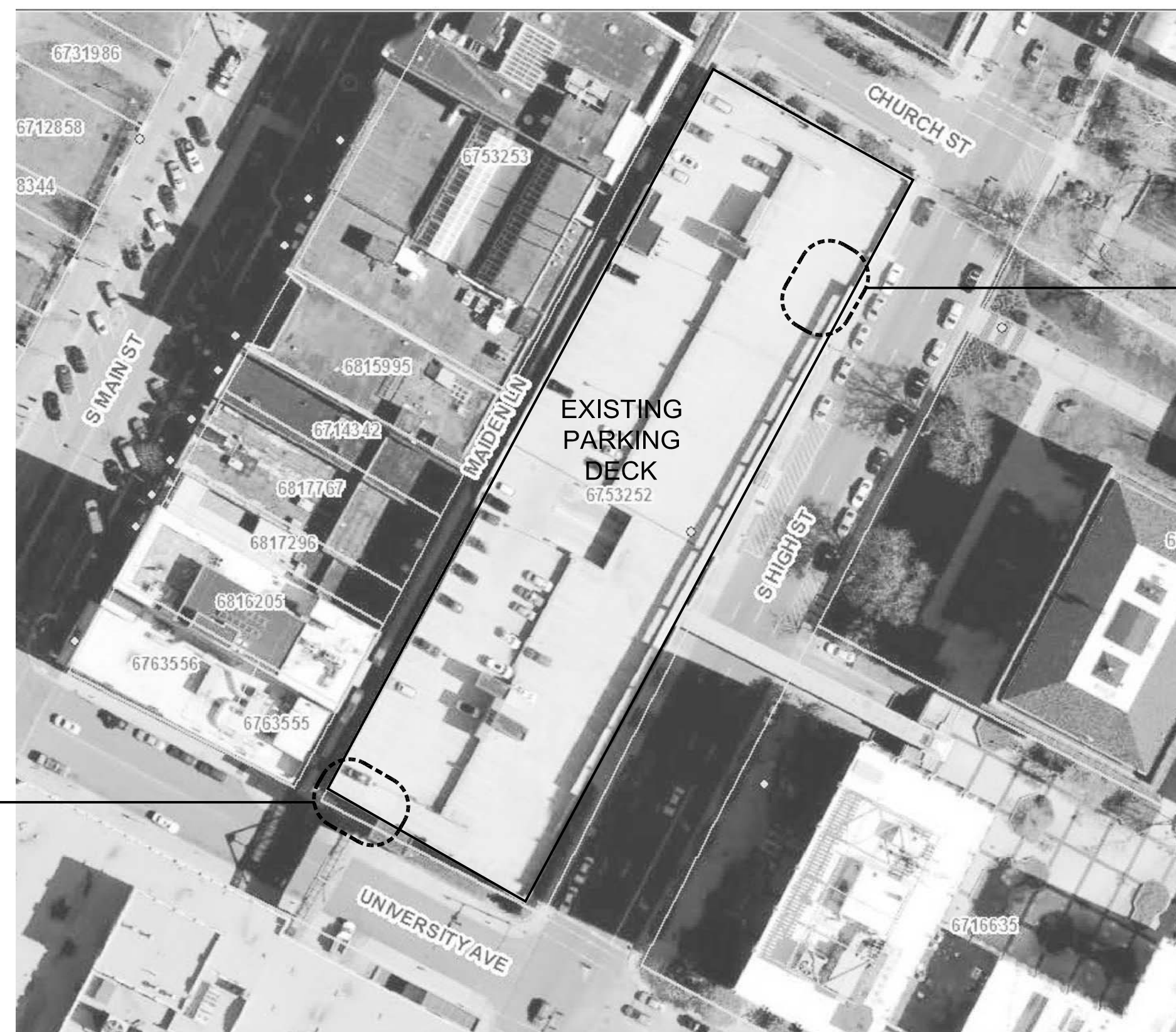
SUMMIT COUNTY PARKING DECK ACCESSIBILITY RENOVATION

200 SOUTH HIGH STREET AKRON, OHIO 44308

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PROJECT LOCATION



PROJECT AREA:
HIGH ST. ENTRANCE
(LEVEL 3)

PROJECT AREA:
BRIDGE VESTIBULE
(LEVEL 4)

ABBREVIATIONS

&	AND	LB	POUND
@	AT	MATL.	MATERIAL
AFF	ABOVE FINISHED FLOOR	MAX.	MAXIMUM
ALUM	ALUMINUM	MFGR.	MANUFACTURER
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	MIN.	MINIMUM
APPROX.	APPROXIMATELY	M.O.	MASONRY OPENING
B.O.	BOTTOM OF	MOD	MODIFIED
BD.	BOARD	MTD	MOUNTED
BRG.	BEARING	MTL.	METAL
€	CENTERLINE	N/A	NOT APPLICABLE
CLG.	CLEARING	O.C.	ON CENTER
CLR.	CLEAR	O.D.	OUTSIDE DIAMETER
CMU	CONCRETE MASONRY UNIT	OPP.	OPPOSITE
COL.	COLUMN	P.LAM.	PLASTIC LAMINATE
COLS.	COLUMNS	PART.	PARTITION
CONC.	CONCRETE	PLYWD.	PLYWOOD
CONT.	CONTINUOUS	PTD	PAINTED
C.O.	CLEAN OUT	PL	PLATE
D.S.	DOWNSPOUT	RECEP.	RECEPTACLE
DIA	DIAMETER	REQ'D	REQUIRED
DISP.	DISPLAY OR DISPENSER	R.O.	ROUGH OPENING
DTL.	DETAIL	SQ. FT.	SQUARE FEET
E.W.C.	ELECTRICAL WATER COOLER	SQ. IN.	SQUARE INCHES
ELEC.	ELECTRIC, ELECTRICAL	SCW	SOLID CORE WOOD
EQ.	EQUAL	S.S.	STAINLESS STEEL
EXP.	EXPANSION	SHT.	SHEET
EXT.	EXTERIOR	SHTS.	SHEETS
F.E.	FIRE EXTINGUISHER	SIM	SIMILAR
FF	FACTORY FINISH	SPECS	SPECIFICATIONS
FIN.	FINISHED	STL.	STEEL
F.O.	FACE OF	T & G	TONGUE AND GROOVE
GA.	GAUGE	TELE.	TELEPHONE
G.C.	GENERAL CONTRACTOR	THK.	THICKNESS
GYP.	GYP-SUM	THRESH.	THRESHOLD
H	HIGH	T.O.	TOP OF
HB.	HOSE BIBB	TYP	TYPICAL
HDW	HARDWARE	U.O.N.	UNLESS OTHERWISE NOTED
HGT.	HEIGHT	VCT	VINYL COMPOSITION TILE
HM	HOLLOW METAL	VIF	VERIFY IN FIELD
I.D.	INSIDE DIAMETER	W	WIDE
INSUL.	INSULATION	WF	WITH
INT.	INTERIOR	WD	WOOD
JAN.	JANITOR	WWF	WELDED WIRE FABRIC
JT.	JOINT		

1 SITE PLAN
T-1 N.T.S.



INDEX OF DRAWINGS

T-1	TITLE SHEET / SITE PLAN / CODE INFORMATION
A-1	VESTIBULE FLOOR PLANS / SECTIONS
A-2	ENTRANCE FLOOR PLANS
A-3	ENTRANCE SECTIONS / DETAILS

CODE ANALYSIS

2017 OHIO BUILDING CODE
PROJECT DESCRIPTION: RENOVATION PROJECT THAT ADDRESSES AREAS OF AN EXISTING PARKING DECK THAT DON'T MEET CURRENT ACCESSIBILITY GUIDELINES. THE USE GROUP, CONSTRUCTION TYPE, BUILDING AREA, AND THE BUILDING OCCUPANT LOAD ARE NOT CHANGING AS PART OF THIS PROJECT.

USE GROUP - NON-SEPARATED MIXED USE

311	S-2	LOW-HAZARD STORAGE, OPEN PARKING GARAGE
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CONSTRUCTION CLASSIFICATION

601	TYPE 2B
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AUTOMATIC SPRINKLER SYSTEMS

903 THE EXISTING BUILDING IS NOT FULLY FIRE SUPPRESSED.

ALLOWABLE BUILDING AREA

507 EXISTING BUILDING AREA IS NOT CHANGING AS PART OF THIS PROJECT.

AREA OF RENOVATION

HIGH ST. ENTRANCE	=	973 S.F.
4TH LEVEL VESTIBULE	=	199 S.F.
TOTAL RENOVATION AREA	=	1,172 S.F.

803.9: **INTERIOR FINISHES**

	CORRIDORS	ROOMS	FLOORS
S-2	C	C	CLASS II DOC FF-1 "PILL TEST"

1004.1.2 OCCUPANT LOAD
EXISTING OCCUPANT LOAD WILL NOT CHANGE AS PART OF THIS PROJECT

DATE: 05-19-20

DRAFTED: FP STAFF

REVISIONS:

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TITLE SHEET/SITE PLAN/CODE INFO

T-1

20-010

LEGEND OF MATERIALS

Concrete Patching/Ramps/Infill

MATERIAL	MFR./PRODUCT	SPEC./REMARKS
LIGHT-WEIGHT CONCRETE	-	4000 PSI COMPRESSIVE STRENGTH
CONCRETE PATCHING/RAMP	ARDEX ERM	EXTERIOR RAMP MORTAR, IF OVER 2" THICK EXTEND WITH AGGREGATE
UNDER-SLAB INFILL	PLASTI-FAB GEOSPEC LIGHTWEIGHT FILL	EXPANDED POLYSTYRENE INSU. (EPS); PROVIDE REINF. MESH ON TOP

Floor Finishes

MATERIAL	MFR./PRODUCT	SPEC./REMARKS
EPOXY	-	MATCH EXIST. EPOXY MANUF./FINISH ALREADY USED IN THE PARKING DECK
EXT. CONCRETE DRESSING	ARDEX CD	APPLY OVER NEW EXTERIOR PATCHING/RAMP ONLY - BROOM FINISH
VESTIBULE FLOORING	ROPPE DIMENSIONS RUBBER TILE	483 - RANDOM DESIGN, COLOR TO BE SELECTED FROM STANDARD COLORS
VESTIBULE ENTRANCE MAT	CONSTRUCTION SPECIALTIES PEDIMAT	STANDARD PEDIMAT SYSTEM W/ HEAVY DUTY CARPET, CUSTOM SIZE TO FIT EXIST. SLAB RECESS
CONC. STAIR NOSINGS	WOOSTER PRODUCTS SUPERGRIT 231BF	EXTRUDED ALUM. W/ RIBBED ABRASIVE STRIPS - BLACK

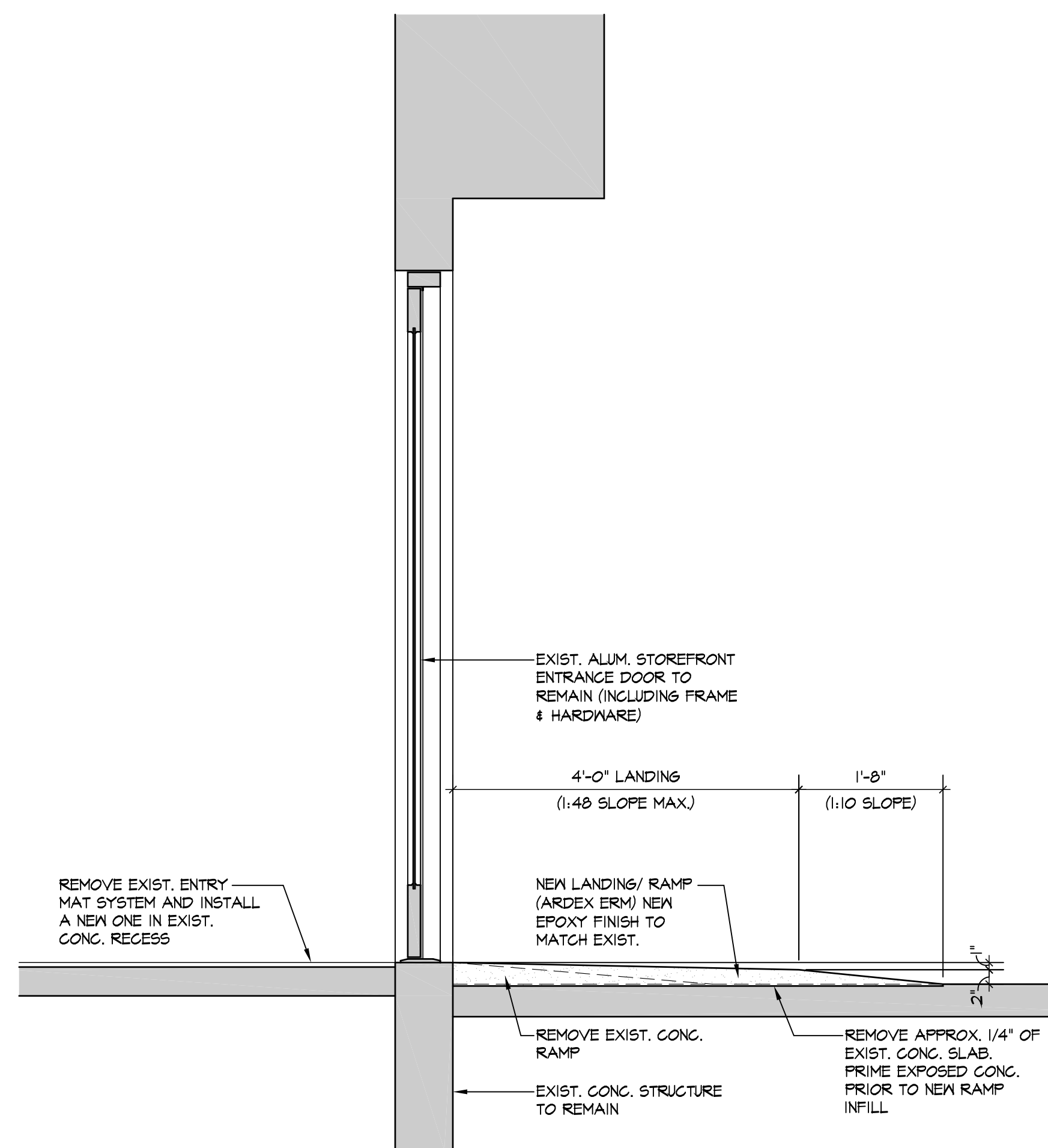
NOTE: ALL MATERIALS LISTED ABOVE ARE TO BE CONSIDERED THE BASIS-OF-DESIGN. ALL SUBSTITUTION REQUESTS MUST BE APPROVED BY THE OWNER AND ARCHITECT, BEFORE BEING INCLUDED IN A BID.

VESTIBULE FLOOR PLAN KEYNOTES:

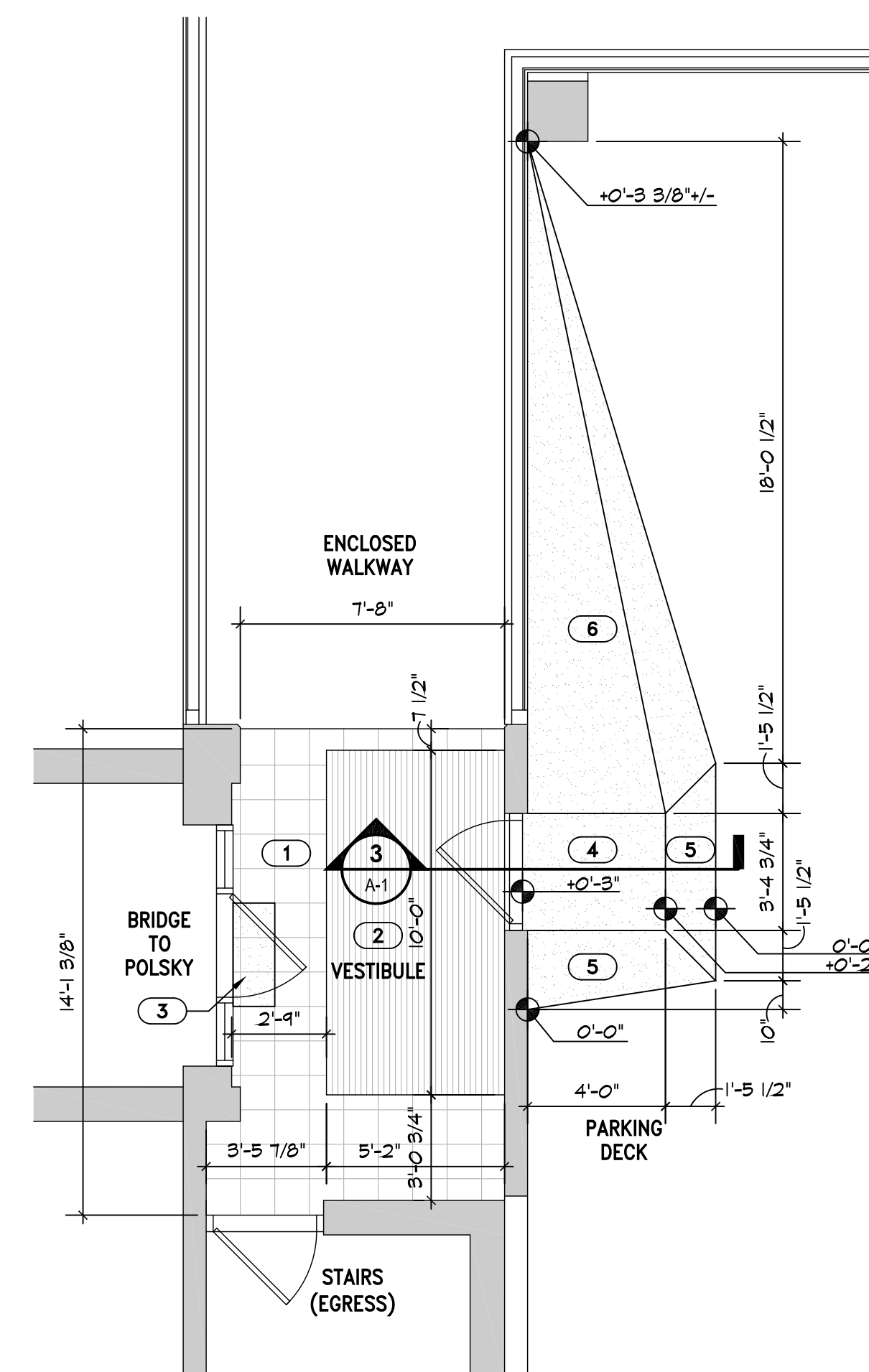
- 1 NEW RESILIENT FLOORING TO BE INSTALLED (AREA SHOWN HATCHED).
- 2 NEW ENTRANCE MAT SYSTEM TO BE INSTALLED IN EXIST. FLOOR RECESS (AFTER THE RECESS HAS BEEN CLEANED). MATCH DIMENSIONS OF ORIGINAL MAT SYSTEM.
- 3 PRIOR TO INSTALLING NEW RESILIENT FLOORING, PATCH/INFILL THE CONCRETE SLAB IN THIS AREA, USING ARDEX EXTERIOR RAMP MORTAR. CONFIRM LOCATION AND EXTENT OF PATCH IN THE FIELD.
- 4 NEW LANDINGS (MAX. SLOPE = 1:48) - USE ARDEX EXTERIOR RAMP MORTAR. EPOXY FINISH TO MATCH EXISTING.
- 5 NEW RAMP FLARE - MAX. SLOPE = 1:10 - USE ARDEX EXTERIOR RAMP MORTAR. EPOXY FINISH TO MATCH EXISTING.
- 6 NEW RAMP FLARE/CRICKET - USE ARDEX EXTERIOR RAMP MORTAR. NEW SLOPE CREATED TO PREVENT WATER FROM COLLECTION BEHIND THE NEW RAMP AND ADJOINING PARKING SPACE. EPOXY FINISH TO MATCH EXISTING.

VESTIBULE DEMOLITION KEYNOTES:

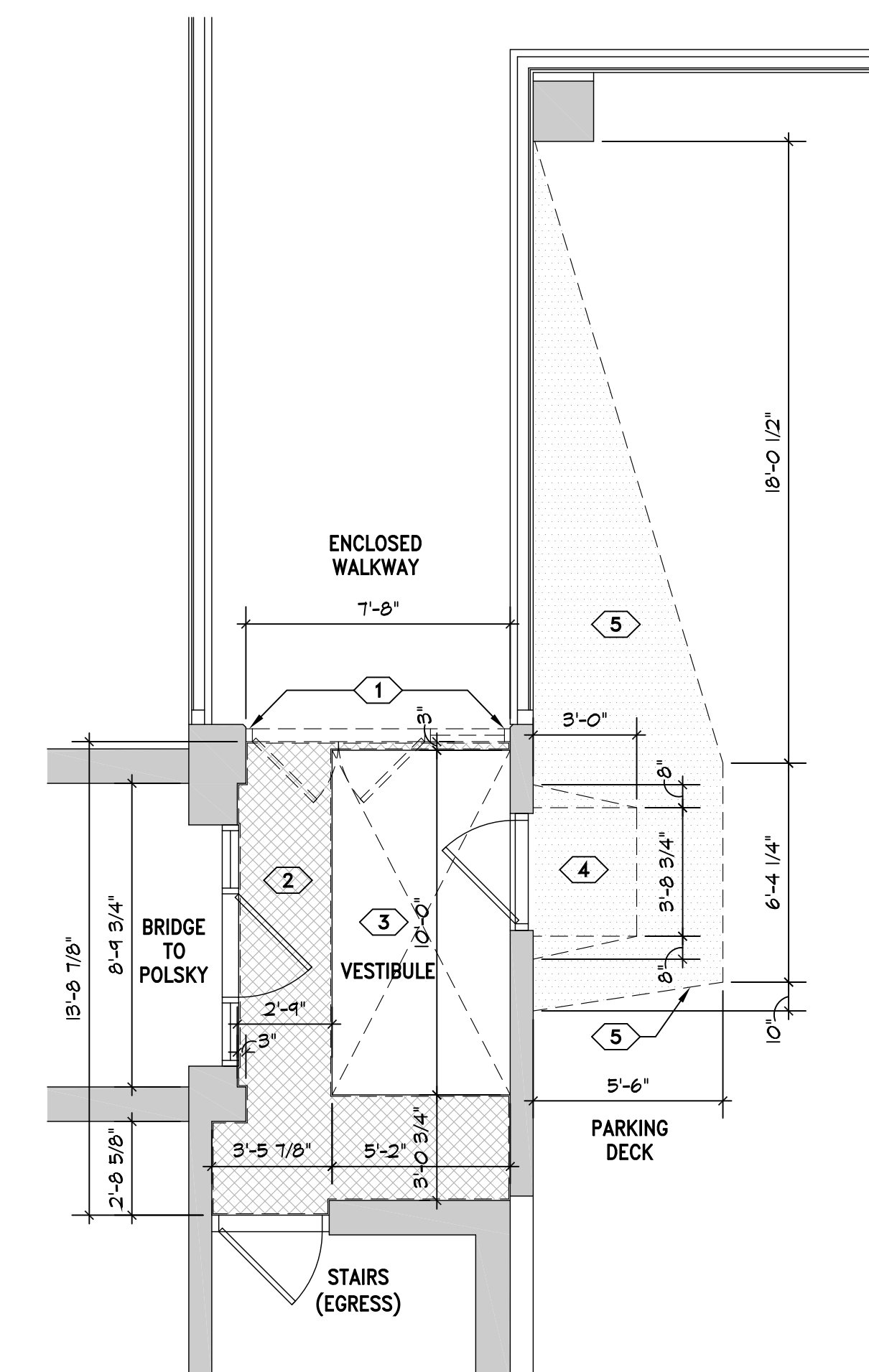
- 1 REMOVE EXIST. ALUMINUM STOREFRONT/ENTRANCE. INCLUDES A PAIR OF DOORS, CORRESPONDING HARDWARE (INCLUDING THRESHOLD), SIDE LIGHT AND TRANSOM (SYSTEM IS 8'-0" HIGH).
- 2 REMOVE EXIST. RESILIENT FLOORING IN AREA SHOWN HATCHED.
- 3 REMOVE EXIST. ENTRY MAT SYSTEM. CLEAN OUT FLOOR RECESS.
- 4 REMOVE EXIST. CONCRETE RAMP.
- 5 REMOVE 1/4" LAYER OF CONCRETE SLAB IN AREA SHOWN ON PLAN.



3 RAMP/DOOR SECTION
SCALE: 3/4" = 1'-0"



2 VESTIBULE FLOOR PLAN
SCALE: 1/4" = 1'-0"



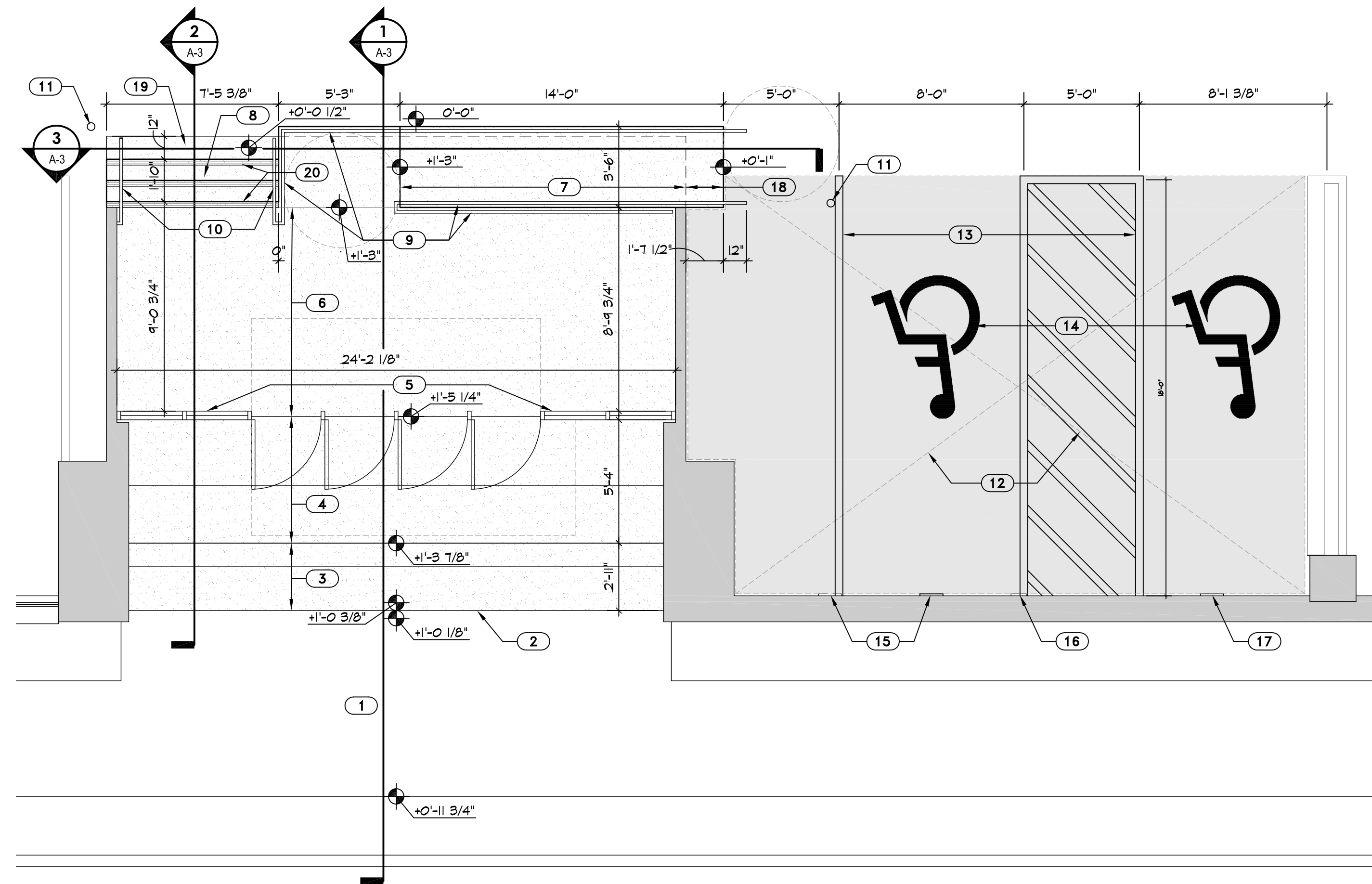
1 VESTIBULE DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

GENERAL STRUCTURAL NOTES:

1. CONCRETE COMPRESSIVE STRENGTH SHALL BE 4,000 PSI.
2. ALL REINFORCING SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615 U.N.O.

HIGH ST. ENTRY FLOOR PLAN KEYNOTES:

- 1 EXIST. CONCRETE SIDEWALK TO REMAIN UNTOUCHED.
- 2 EXIST. CONTROL JOINT TO REMAIN. THERE WILL BE A 1/4" OR LESS VERTICAL TRANSITION UP TO THE NEW RAMP.
- 3 NEW RAMP W/ MAX. 1:10 SLOPE - ARDEX EXTERIOR RAMP MORTAR (ERM) W/ ARDEX CONCRETE DRESSING (CD); GRAY WITH BROOM FINISH.
- 4 NEW LANDING W/ MAX. SLOPE = 1:48 - ARDEX EXTERIOR RAMP MORTAR (ERM) W/ ARDEX CONCRETE DRESSING (CD); GRAY W/ BROOM FINISH.
- 5 EXIST. ALUM. STOREFRONT AND ENTRY DOORS TO REMAIN. CLEAN AT CONCLUSION OF PROJECT.
- 6 NEW LIGHT-WEIGHT CONCRETE SLAB LANDINGS - MAX. SLOPE = 1:48. EPOXY FINISH TO MATCH EXIST.
- 7 NEW LIGHT-WEIGHT CONCRETE RAMP - MAX SLOPE = 1:12. EPOXY FINISH TO MATCH EXIST.
- 8 NEW LIGHT-WEIGHT CONCRETE STAIR - 3 RISERS @ 4.83"; 2 TREADS @ 11". EPOXY FINISH TO MATCH EXIST.
- 9 NEW 1 1/2" STEEL PIPE RAILING (PAINTED) W/ INTEGRAL EDGE PROTECTION.
- 10 NEW SURFACE-MOUNTED, 1 1/2" STEEL STAIR PIPE RAILING (PAINTED).
- 11 NEW 4" DIA. x 42" HIGH, SURFACE-MOUNTED PIPE BOLLARD - PROVIDE AND INSTALL A 1/8" THICK HIGH-DENSITY POLYETHYLENE (HDPE) COVER.
- 12 APPLY NEW EPOXY FLOOR (MATCH EXISTING) IN THIS AREA (SHOWN SHADED) TO COVER THE EXISTING PARKING STRIPING - MATCH EXIST.
- 13 NEW YELLOW PARKING STRIPING - 4" WIDE.
- 14 NEW PAINTED HANDICAP SYMBOL. MATCH EXIST. SIZE, LOCATION, AND COLOR USED ELSEWHERE IN THE PARKING DECK.
- 15 RELOCATE EXIST. HANDICAP PARKING SIGN - CENTER IT ON THE NEW PARKING SPACE.
- 16 REMOVE EXIST. "VAN" PARKING SIGN.
- 17 EXIST. HANDICAP PARKING SIGN TO REMAIN.
- 18 BOTTOM OF NEW RAMP (1:12 SLOPE) - ARDEX EXTERIOR RAMP MORTAR (ERM) W/ EPOXY FINISH TO MATCH EXIST.
- 19 INFILL EXIST. RECESS FOR BRICK PAVERS W/ ARDEX EXTERIOR RAMP MORTAR (ERM) W/ EPOXY FINISH TO MATCH EXIST.
- 20 RIBBED ABRASIVE STAIR NOSINGS - TYP. OF 3.

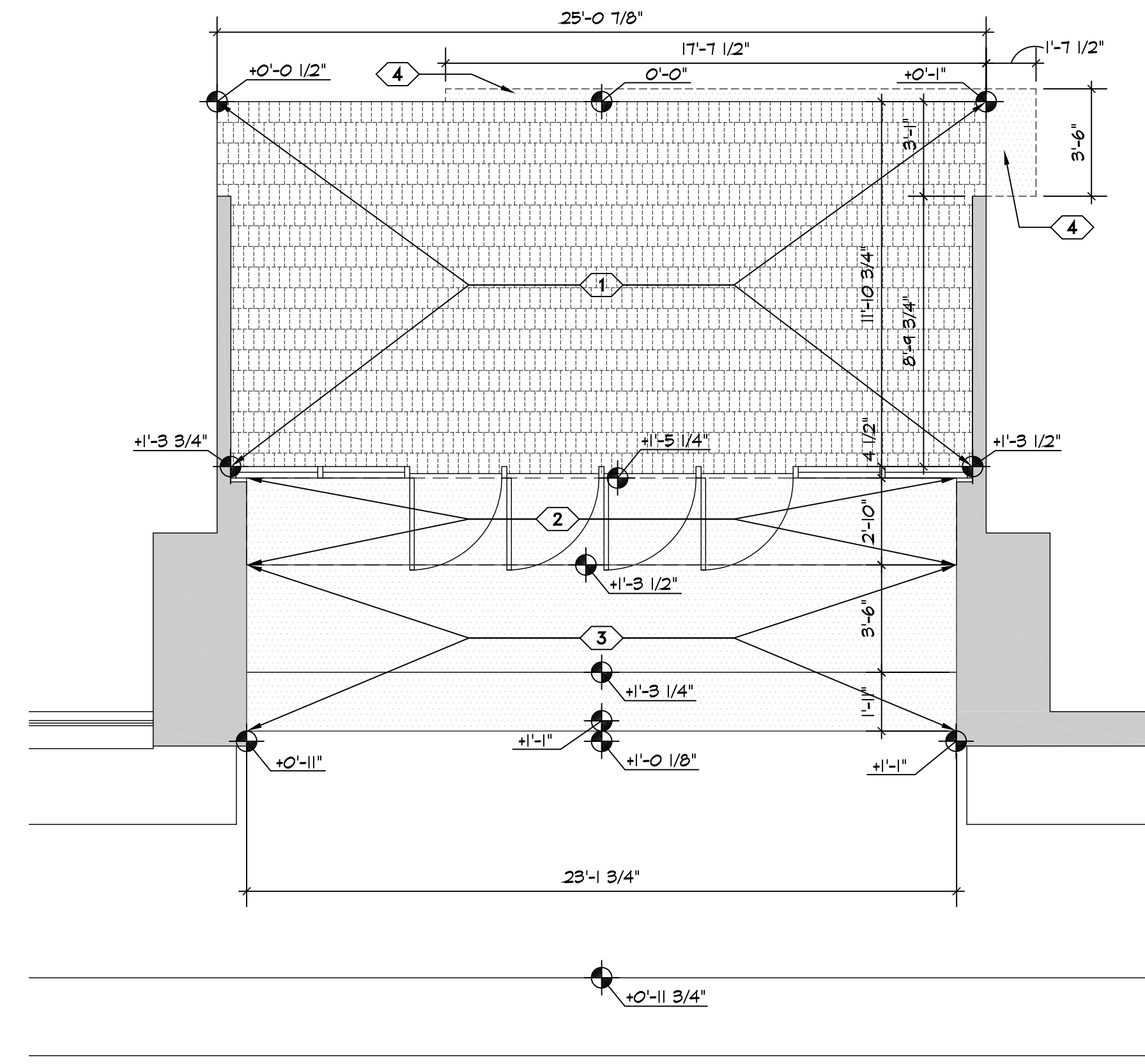


2 ENTRY FLOOR PLAN
A-2 SCALE: 1/4" = 1'-0"



HIGH ST. ENTRY DEMOLITION KEYNOTES:

- 1 REMOVE EXIST. BRICK PAVERS AND ALL CORRESPONDING MORTAR AND GROUT. CLEAN OUT EXIST. RECESS IN CONCRETE SLAB.
- 2 REMOVE EXIST. CONCRETE INFILL - APPROXIMATELY 2" DEEP (FIELD VERIFY).
- 3 REMOVE UP TO 1 1/2" OF EXIST. CONCRETE IN THIS AREA TO ACCOMMODATE REQUIRED RAMP AND LANDING SLOPES. SEE SECTIONS 1/A-3 AND 2/A-3 FOR NEW SLOPE REQUIREMENTS.
- 4 REMOVE THE TOP LAYER OF THE EXIST. CONCRETE AND CORRESPONDING FINISHES. REMOVE 1/4" OF CONCRETE MAX.



1 ENTRY DEMOLITION PLAN
A-2 SCALE: 1/4" = 1'-0"



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ENTRY FLOOR
PLANS

A-2

20-010

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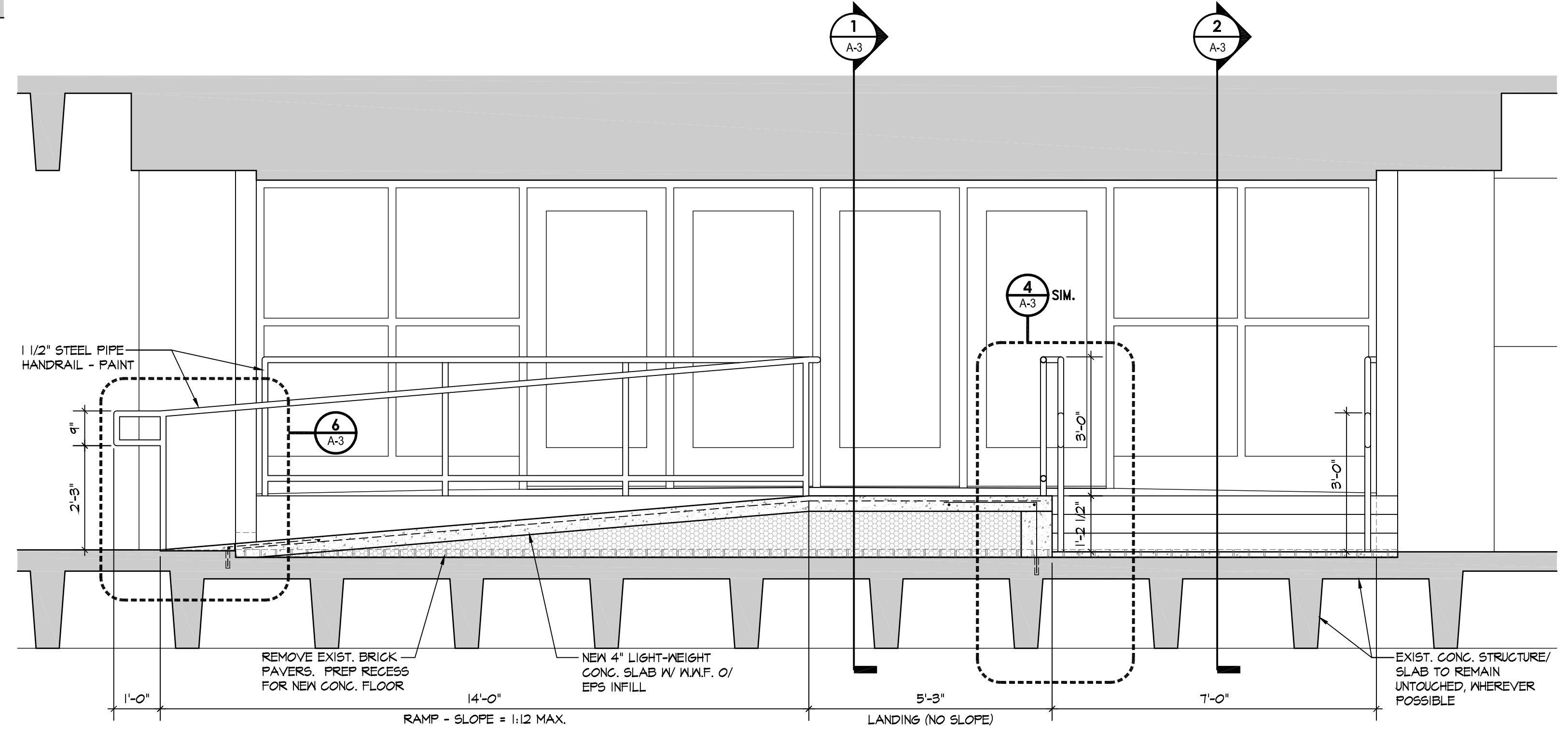
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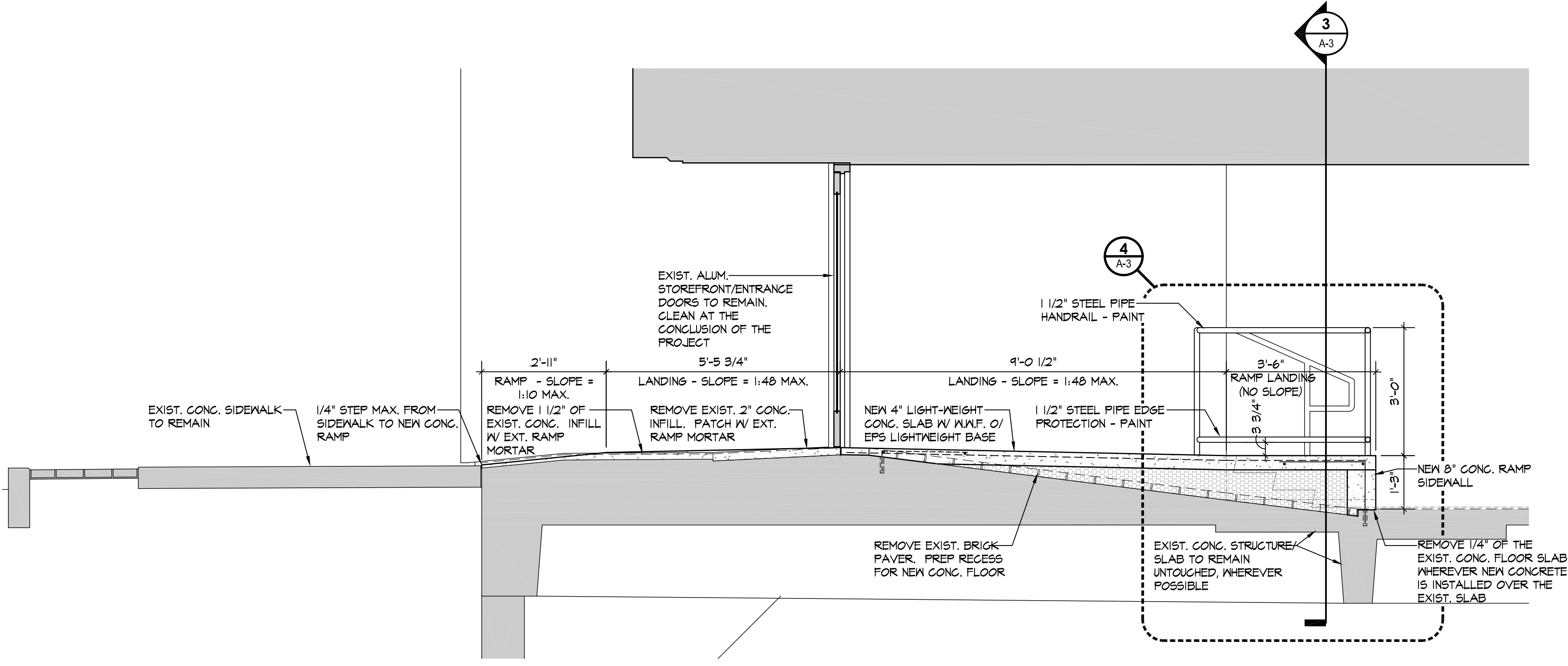
ENTRY SECTIONS /
DETAILS

A-3

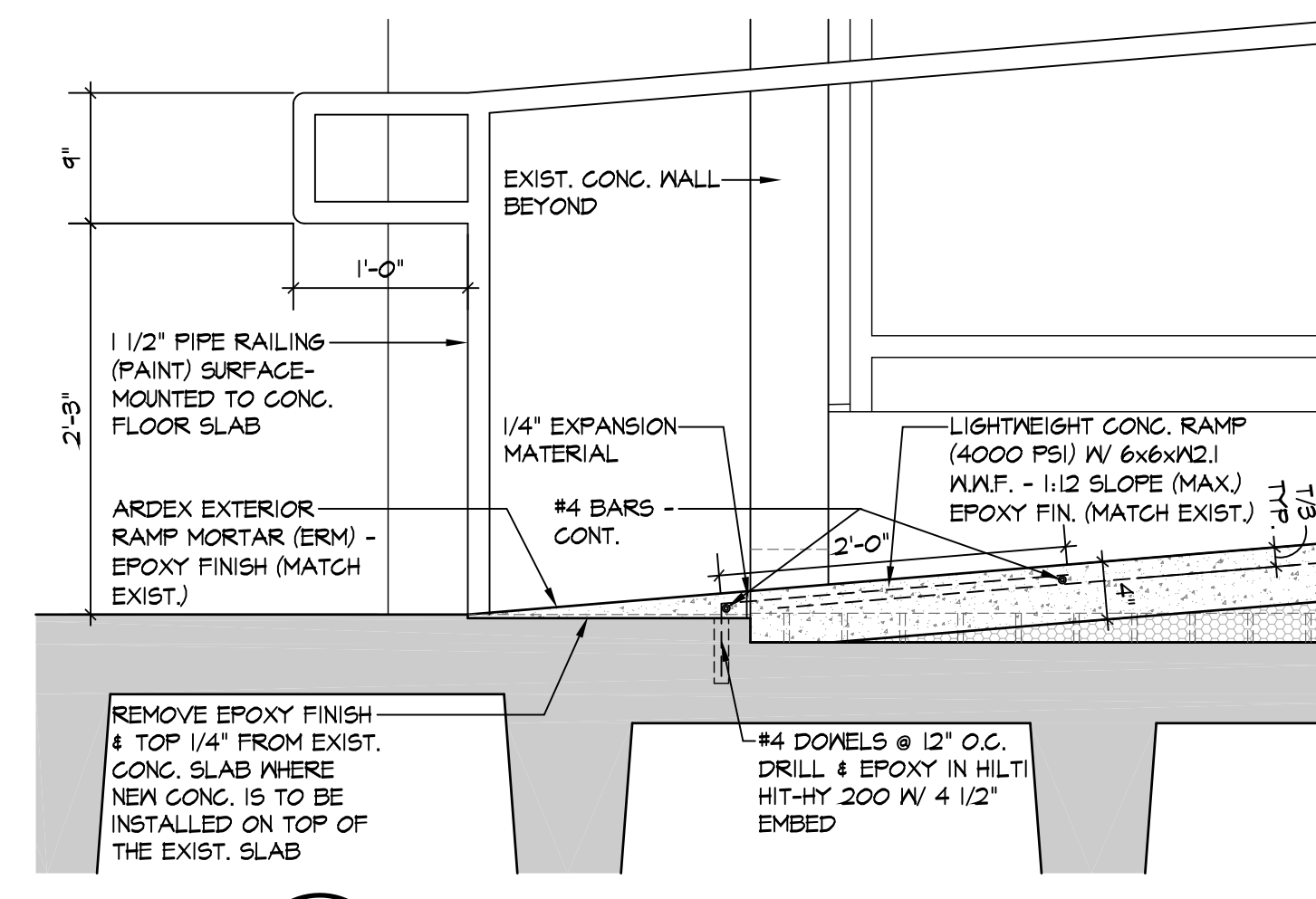
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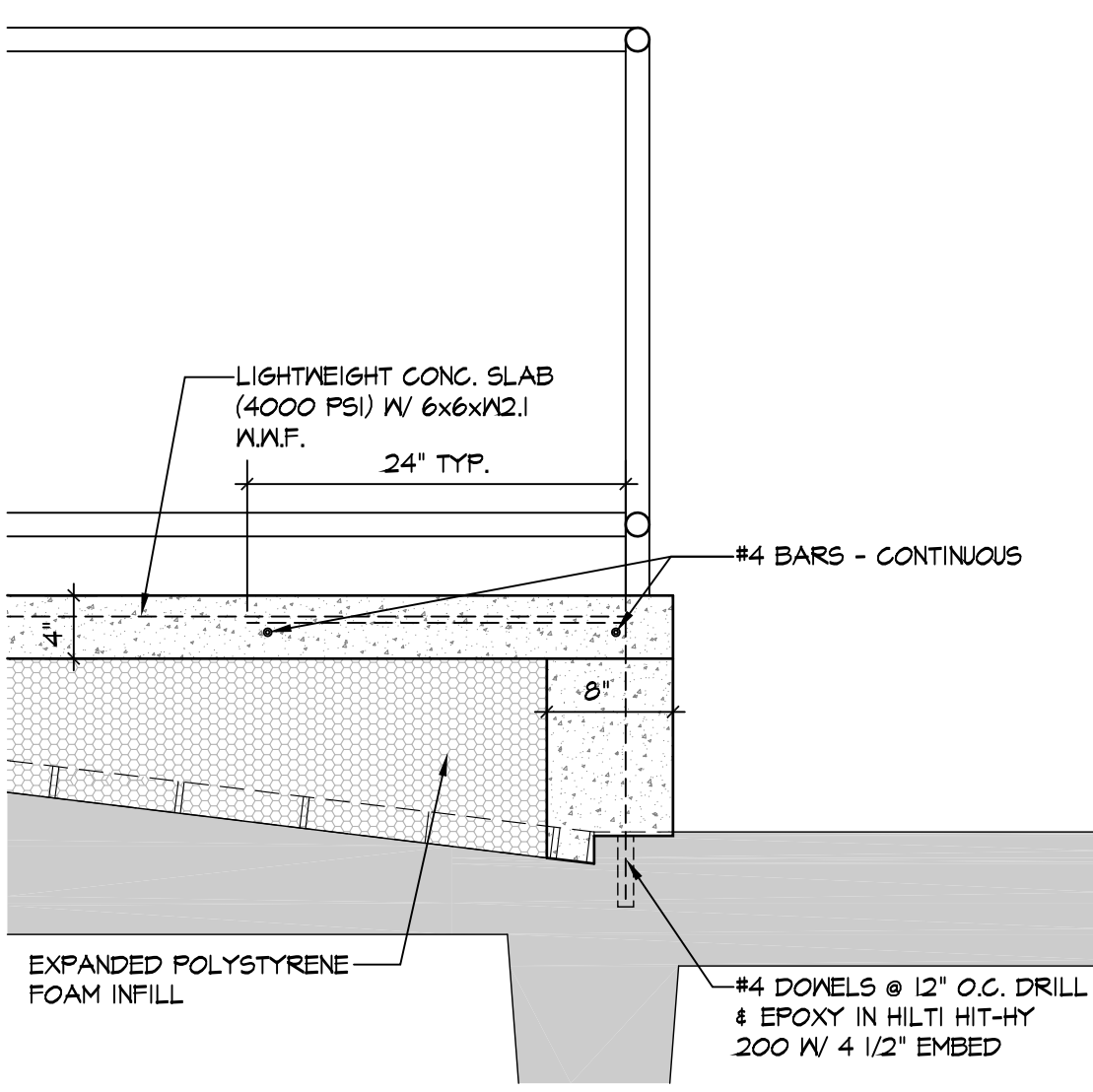
3 ENTRY SECTION
A-3 SCALE: 1/2" = 1'-0"



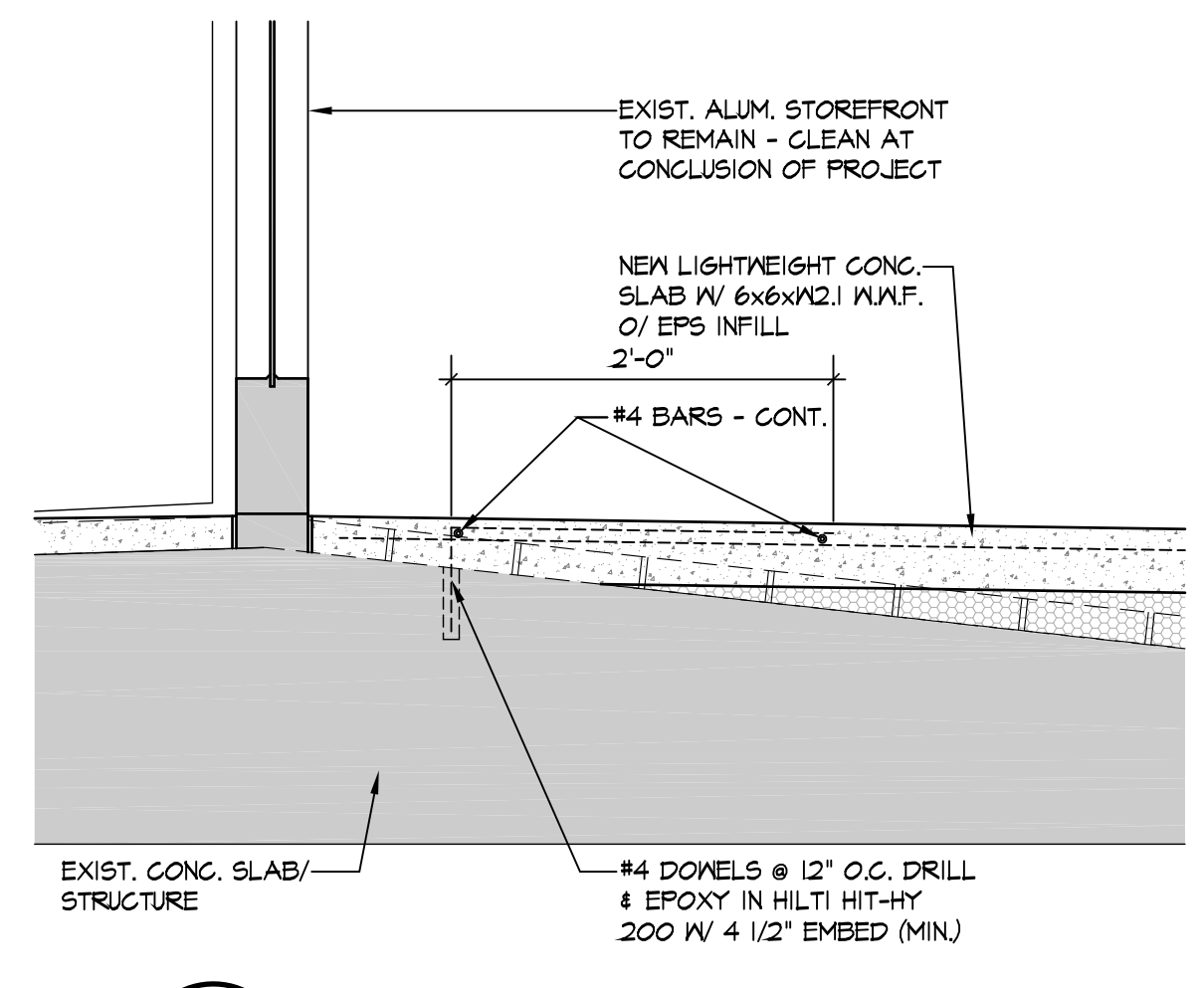
1 ENTRY SECTION
A-3 SCALE: 1/2" = 1'-0"



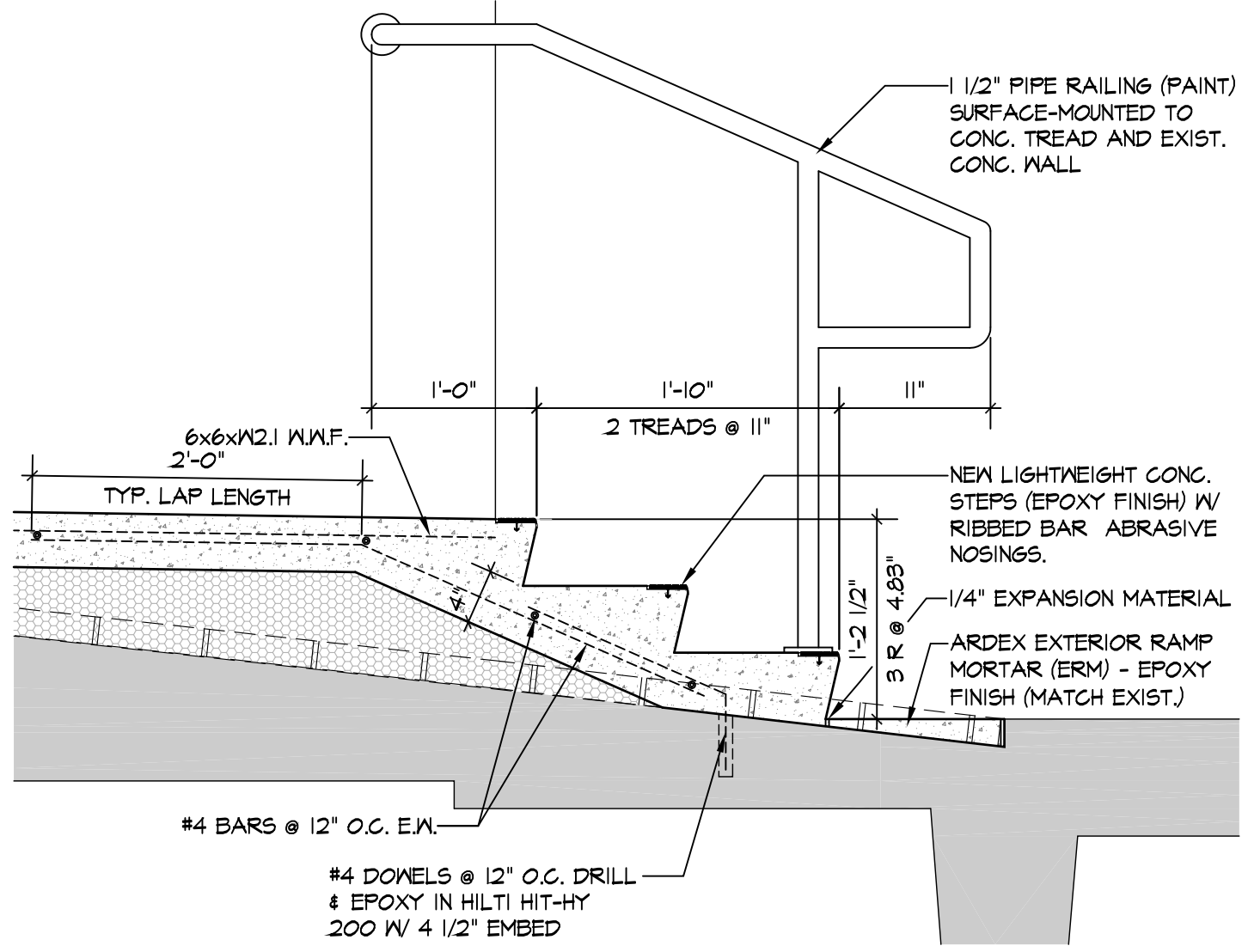
6 RAMP DETAIL
A-3 SCALE: 1" = 1'-0"



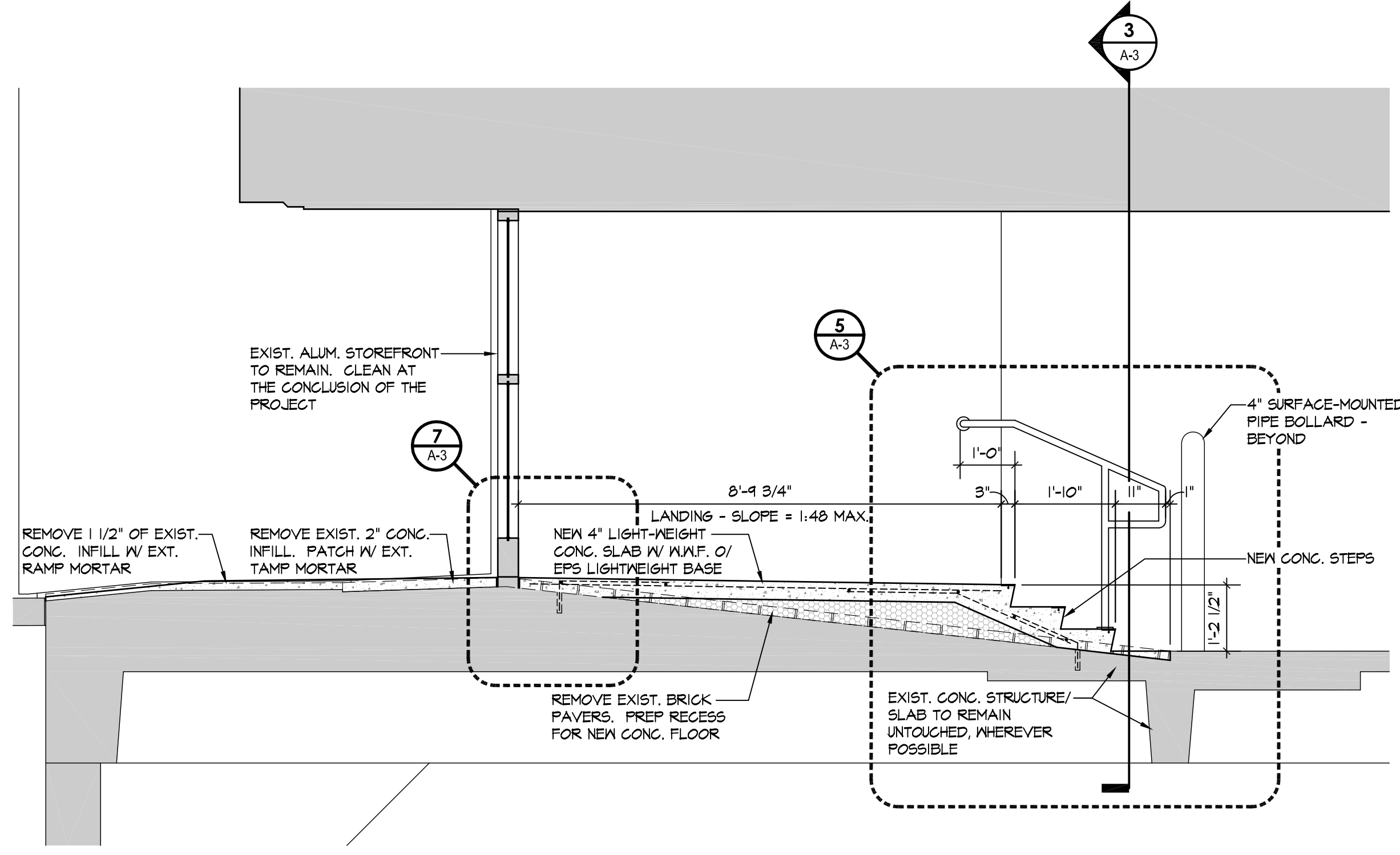
4 RAMP LANDING DETAIL
A-3 SCALE: 1" = 1'-0"



7 LANDING DETAIL
A-3 SCALE: 1" = 1'-0"



5 STAIR DETAIL
A-3 SCALE: 1" = 1'-0"



2 ENTRY SECTION
A-3 SCALE: 1/2" = 1'-0"

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